



Oct 7, 2024

Town of Tewksbury
Planning & Community Development
1009 Main Street
Tewksbury, MA 01876

Re: Site Plan Application for 485 Main Street Building Addition

Tax Map 22; Lot 90
485 Main Street, Tewksbury, MA 01876

Dear Chairman and Board Members:

The above referenced project is being submitted for site plan review for the Town of Tewksbury Planning Board. The property, located at 485 Main Street, is referenced on Tewksbury's Tax Map 22 as Lot 90 owned by Eugenie Sahyouni. The parcel, approximately 0.23 acres in area, is located within Tewksbury's Mixed Use Business Zoning District. The existing building is occupied by a haircut salon and one residential unit. The addition to the existing building will feature a garage for two residential parking spaces and a new 3-bed room residential story with a total area of 2,300 sf, the remainder of the site consists of bituminous pavement, grass and shrub/wooded area.

The included documents outline the applicant's request for review. All required information has been included within the submittal package. LEBRA Engineering will be present to further discuss the application at the scheduled hearing.

Enclosed is the following material for your review:

1. Application Form: (6) copies of a completed Site Plan Review Application Form.
2. Written Statement: (6) copies of a narrative detailing the proposed use, effects on adjacent properties and public ways, open space, and other criteria set forth in the Tewksbury Zoning Bylaw Section 3.6 governing Site Plan Review. This part also includes responses to community development comments to align with Tewksbury Zoning Bylaw requirements
3. Plans: (6) set of plans, as follows:
 - (1) set of plans 24" x 36"
 - (5) sets of plans 11"x17"
4. Drainage Calculations: (1) set of drainage calculations.
5. Fees: There is a \$550.00 filing fee plus a postage fee (\$1.00 per abutter)

6. Certified Abutters List
7. Advertisement: Transmit the legal notice for the Public Hearing to the Town Crier for publication for (2) successive weeks.
8. Proof of good standing
9. Electronic documents: the entire application including plans, drainage report

Israa Ismail
Senior Civil Engineer
LEBRA Engineering
221 Boston post road # 365e
Marlborough, Massachusetts 01752

TEWKSBURY PLANNING BOARD

Town Hall – Lower Level
1009 Main Street
Tewksbury, MA 01876
(978) 640-4370

SITE PLAN REVIEW – CHECKLIST FOR APPLICATION

Petitioners applying for any Site Plan Review must submit the following:

1. **APPLICATION FORM:** Provide (6) copies of a completed Site Plan Review Application Form.
2. **WRITTEN STATEMENT:** Provide (6) copies of a narrative detailing the proposed use, effects on adjacent properties and public ways, open space, and other criteria set forth in the Tewksbury Zoning Bylaw Section 3.6 governing Site Plan Review.
3. **PLANS:** Submit (6) set of plans, as follows, to be dated within 6 months of application:
 - (1) set of plans not to exceed 24" x 36"
 - (5) sets of plans not to exceed 11"x17"

The above must include the following:

- lighting plans
 - landscaping plans
 - building elevation plans
 - master signage plan
4. **DRAINAGE CALCULATIONS:** Submit (1) set of drainage calculations.
 5. **FEES:** There is a \$550.00 filing fee plus a postage fee (\$1.00 per abutter) for each application to accommodate mailing notifications. This is payable by cash or check made payable to the Town of Tewksbury. See attached fee schedule.
 6. **CERTIFIED ABUTTERS LIST:** Provide a certified abutters list to include 1) all abutters, 2) abutters to abutters, and 3) all abutters within 300 feet of the property line. Obtain from the Assessor's Office located in the Town Hall Annex. The certified abutters list must be dated within 6 months of date of application. Please submit an electronic copy of this list upon submission.
 7. **ADVERTISEMENT:** Transmit the legal notice for the Public Hearing to the Town Crier for publication for (2) successive weeks. The legal notice and dates for publication will be provided by the Community Development Office once the application is submitted.
 8. **PROOF OF GOOD STANDING:** Include documentation from Town of Tewksbury Tax Collector that the applicant and/or property are in good financial standing with the Town.
 9. **ELECTRONIC DOCUMENTS:** The entire application including plans, drainage reports, etc must be sent electronically to the Community Development Office upon submission.

**Town of Tewksbury
Massachusetts**

Planning Board

APPLICATION FOR HEARING

**Application is hereby made for a
Site Plan Review under Section 3.6 of the Tewksbury Zoning Bylaw**

Application Property Address: 485 Main Street, Tewksbury, MA 01876

Lot Area 0.23 acres Present Use Hair Salon & Residential Zoning District(s) Mixed Use Business

Assessor's Map(s) and Lot(s) Map 22 Lot 90 Land Court Cert. No. _____ Bk/Pg _____

Middlesex North Registry of Deeds, Bk/Pg 17881/265

Applicant: Name: EUGENIE SAHYOUNI Telephone: 978-314-2171

Address: 485 Main Street City/State: Tewksbury, MA 01876

Applicant Email Address: Chezpierresalon@gmail.com

Property Owner: Name: EUGENIE SAHYOUNI Telephone: 978-314-2171

Address: 485 Main Street City/State Tewksbury, MA 01876

Engineer: Name: LEBRA Engineering Telephone: 781-540-0337

Address: 221 BOSTON POST ROAD # 365E City/State: Marlborough, MA 01752

Engineer Email Address: israa.ismail@lebraengineering.com

Brief Description of Proposed Use: (Or attach Written Statement) _____

Proposed work includes extending the building for a 2-car parking garage and building a second story on the existing building utilizing the existing foundation with associated improvement including underground drainage system and landscaping.

Total Parking Required for Site: 6 parking spaces including one ADA space

Total Square Footage of Proposed Site Improvement: 2,300 s.f.

Information submitted is true to the best of my knowledge:

Signature of Applicant (or Representative): _____ **Date:** _____

Owner's Signature (if other than Applicant): _____ **Date:** _____

FILING FEE MUST ACCOMPANY THIS APPLICATION

Make Checks Payable to the Town of Tewksbury



TOWN OF TEWKSBURY

1009 Main Street
TEWKSBURY, MASSACHUSETTS 01876

DEPARTMENT OF COMMUNITY DEVELOPMENT

Alexandra M. Lowder
Community/Economic Development Planner

(978) 640-4370
FAX (978) 640-4365

To: Maria Giacomini on behalf of Eugenie Sahyouni
From: Alexandra Lowder
Date: 6/11/2024
RE: 485 Main Street Application for Commercial Addition

I have reviewed the submission for 485 Main Street dated 12/8/2023 and offer the following comments:

1. **Section 3.6.4.C.1** – This provision states that there must be adequacy of the capacity of adjacent streets to accommodate the traffic to be generated by the proposed use.
 - a. The Board may request traffic assessments and peer reviews if necessary.
2. **Section 3.6.4.C.7** – This provision states that there must be adequate stormwater management to prevent discharge onto adjacent properties.
 - a. No stormwater management system has been proposed. Additionally, any stormwater calculations or plans submitted will be reviewed by an outside firm, requiring a deposit from the applicant.
3. **Section 3.6.4.C.10** – This provision states that there must be adequate waste removal.
 - a. The plans do not depict a dumpster or waste removal.
4. **Section 3.6.4.F** – This provision allows the Planning Board to implement a performance guarantee for the purposes of obtaining final as-builts. The Board may implement the interim as-built submittal with supplemental cash bond or else require a bond for the entire as-built guarantee.
5. **Section 5.3.3.A** – This section details the dimensional requirements for the General Business District.
 - a. The maximum building height is not noted on the table. Further, the existing building is nonconforming, requiring relief from the Zoning Board of Appeals to expand a pre-existing nonconforming structure.
 - b. The minimum open space area includes unpaved areas and areas without buildings built upon. The plans state 42% open space area. Please confirm this is inclusive of unpaved, undeveloped areas only.

6. **Section 5.4.3 Table of Uses, Appendix A** – This provision lists the allowed uses for the Mixed-Use Business District. The applicant shows a dwelling unit above the ground floor of a commercial building.
 - a. It is unclear whether the garage intended as a residential use would work towards the above use being allowed. This is for the Building Commissioner's determination.
7. **Section 6.1.8.D** – This provision requires continuous curbing throughout the site.
 - a. The site plans depict sections of pavement which do not feature continuous curbing.
8. **Section 6.1.8.E** – This provision requires adequate handicap accessible parking.
 - a. The site plans depict the handicap accessible space the furthest from the building.
9. **Section 6.1.9.A** – This provision details requirements for tandem parking spaces.
 - a. Please confirm the orientation of the parking spaces inside of the garage. Additionally, there appear to be turning conflicts with the garage spaces and commercial parking spaces with no setbacks indicated on the plans.
10. **Section 6.1.10.A** – This provision requires minimum driveway width to be 24' for two-way driveways.
 - a. The driveway width is not indicated on the plan.
11. **Section 6.1.11.C** – This provision states that paved areas other than driveways or walkways may not be located within 10' of a lot line or 20' of a right-of-way.
 - a. The pavement setbacks are not indicated on the plans.
12. **Section 6.1.11.D** – This provision states that there must be sidewalks constructed along all frontage and within the site where necessary for pedestrian safety.
 - a. The plans do not indicate sidewalks.
13. **Section 6.2.10.H** – This provision requires all Site Plan Review applications to include a Master Signage Plan.
 - a. No sign plan was included.
14. All water and sewer work shall be performed by a drain layer licensed in the Town of Tewksbury.
15. Upon any approval, the applicant is required to obtain certain permits from the Department of Public Works prior to starting any site work. All applications are subject to review and approval by the Department of Public Works Engineering Division.

The Applicant may be required to obtain some or all of the following permits from the DPW prior to construction, though this list is not exhaustive:

- a. Trench Permit
- b. Street Opening Permit
- c. State Highway Access Permit
- d. Physical Alteration Permit
- e. Sewer Modification Permit
- f. Water Modification Permit



Oct 7, 2024

**Site Plan Application for 485 Main Street Building Addition
Tax Map 22; Lot 90
485 Main Street, Tewksbury, MA 01876**

Project Narrative:

The property, located at 485 Main Street, is identified on Tax Map 22, Lot 90 and is owned by Eugenie Sahyouni. The parcel, approximately 0.23 acres in area, is located within Tewksbury's Mixed Use Business Zoning District. The existing building is occupied by a haircut salon and one residential unit. The addition to the existing building will feature a garage for two residential parking spaces and a new 3-bed room residential story with a total area of 2,300 sf. The remainder of the site consists of bituminous pavement, grass and shrub/wooded area. On the existing bituminous area, a parking lot is proposed in front of the building consisting of 5 business parking spaces and one space for ADA parking. Two entrances are proposed to provide access to the site area from the public Main Street. An electric elevator is proposed on site to accommodate ADA movement. In addition to the new building, an underground chamber infiltration system is proposed to collect stormwater from the building roof and the impervious area to mitigate runoff on site. Sidewalks are added in front of the existing building to provide safe pedestrian movement. Vegetated strips are proposed in the center of the parking area to reduce impervious areas and provide drainage benefit.

Followings are the responses to the comments dated Jun 11, 2024 sent by Community/Economic Development Planner Alexandra M. Lowder to meet Tewksbury Zoning Bylaw requirements

1. Section 3.6.4.C.1 – This provision states that there must be adequacy of the capacity of adjacent streets to accommodate the traffic to be generated by the proposed use.

a. The Board may request traffic assessments and peer reviews if necessary.

The new addition will not generate any additional traffic as the existing haircut salon will be decreased in area and stations from 3 stations to two stations, and the new story is for residential use only. In addition, the project is located on Main Street, an arterial highway, identified as part of Massachusetts route 38 and has adequate site distances.

2. Section 3.6.4.C.7 – This provision states that there must be adequate stormwater management to prevent discharge onto adjacent properties.

a. No stormwater management system has been proposed. Additionally, any stormwater calculations or plans submitted will be reviewed by an outside firm, requiring a deposit from the applicant.

The proposed underground drainage system including chambers for stormwater infiltration will collect stormwater runoff from the proposed building roof. Stormwater drainage report and calculations are attached with this application.

3. Section 3.6.4.C.10 – This provision states that there must be adequate waste removal.

a. The plans do not depict a dumpster or waste removal.

A proposed dumpster enclosure 15'x 10' for waste removal is presented on the site plan at the southwest of the building.

4. Section 3.6.4.F – This provision allows the Planning Board to implement a performance guarantee for the purposes of obtaining final as-builts. The Board may implement the interim as-built submittal with supplemental cash bond or else require a bond for the entire as-built guarantee.

Understood.

5. Section 5.3.3.A – This section details the dimensional requirements for the General Business District.

a. The maximum building height is not noted on the table. Further, the existing building is nonconforming, requiring relief from the Zoning Board of Appeals to expand a pre-existing nonconforming structure.

The building height (16.83') is added to the table on the proposed site plan.

b. The minimum open space area includes unpaved areas and areas without buildings built upon. The plans state 42% open space area. Please confirm this is inclusive of unpaved, undeveloped areas only.

The plan is revised, the open space area including unpaved, undeveloped area is approximately 28% of the total area.

6. Section 5.4.3 Table of Uses, Appendix A – This provision lists the allowed uses for the Mixed-Use Business District. The applicant shows a dwelling unit above the ground floor of a commercial building.

a. It is unclear whether the garage intended as a residential use would work towards the above use being allowed. This is for the Building Commissioner's determination.

The proposed garage will feature two parking space for residential use only.

7. Section 6.1.8.D – This provision requires continuous curbing throughout the site.

a. The site plans depict sections of pavement which do not feature continuous curbing.

A continuous curbing is added to the site plan at the entrance curbing and around green areas

8. Section 6.1.8.E – This provision requires adequate handicap accessible parking.

a. The site plans depict the handicap accessible space the furthest from the building.

The site plan is updated to provide appropriate and accessible space for the handicap.

9. Section 6.1.9.A – This provision details requirements for tandem parking spaces.

a. Please confirm the orientation of the parking spaces inside of the garage. Additionally, there appear to be turning conflicts with the garage spaces and commercial parking spaces with no setbacks indicated on the plans.

The site plan is updated, the garage orientation for the two residential car spaces is indicated on the proposed site plan. The proposed business parking spaces are updated to prevent conflict with the garage spaces and have enough setbacks.

10. Section 6.1.10.A – This provision requires minimum driveway width to be 24' for two-way driveways.

- a. The driveway width is not indicated on the plan.

The site will be accessed through two entrances from each side to the parking space, the limitation of the site area will not allow for 24' for two-way driveways.

11. Section 6.1.11.C – This provision states that paved areas other than driveways or walkways may not be located within 10' of a lot line or 20' of a right-of-way.

- a. The pavement setbacks are not indicated on the plans.
No new pavement will be added to the proposed site plan.

12. Section 6.1.11.D – This provision states that there must be sidewalks constructed along all frontage and within the site where necessary for pedestrian safety.

- a. The plans do not indicate sidewalks.
Proposed sidewalks are added in front of the building for pedestrian safety

13. Section 6.2.10.H – This provision requires all Site Plan Review applications to include a Master Signage Plan.

- a. No sign plan was included.
Signs are added at the entrance and for ADA parking

14. All water and sewer work shall be performed by a drain layer licensed in the Town of Tewksbury.
Noted, more details on the water and sewer work will be provided in the future submittal.

15. Upon any approval, the applicant is required to obtain certain permits from the Department of Public Works prior to starting any site work. All applications are subject to review and approval by the Department of Public Works Engineering Division.

The Applicant may be required to obtain some or all of the following permits from the DPW prior to construction, though this list is not exhaustive:

- a. Trench Permit
- b. Street Opening Permit
- c. State Highway Access Permit
- d. Physical Alteration Permit
- e. Sewer Modification Permit
- f. Water Modification Permit

Noted, the required permits will be considered after approval before any construction.

Town of Tewksbury Abutters List

Map/Lot	Abutter	Abutter	Address	Town	ST	Zip	Book/Page	Location
21-22	MURPHY MICHAEL A & SHERI		12 APPLETREE RD	TEWKSBURY	MA	01876	34571/0063	12 APPLETREE RD
21-23	CLEAVES ELIZABETH L		10 APPLETREE RD	TEWKSBURY	MA	01876	18806/0102	10 APPLETREE RD
22-85	HILL MICHAEL A	HILL LISA A	5 EDWARD ST	TEWKSBURY	MA	01876	03818/0021	5 EDWARD ST
22-87	GANN ADAM W & KAITLIN M		1 EDWARD ST	TEWKSBURY	MA	01876	33320/0156	1 EDWARD ST
22-88	BURRIS WILLIAM R III & CHARITY		3 APPLETREE RD	TEWKSBURY	MA	01876	31709/0050	3 APPLETREE RD
22-89	GIORLANDO DANIEL		495 MAIN ST	TEWKSBURY	MA	01876	37843/0060	495 MAIN ST
22-90	SAHYOUNI EUGENIE P		485 MAIN ST	TEWKSBURY	MA	01876	17881/0265	485 MAIN ST
22-92	WHALEN PATRICIA M		469 MAIN ST	TEWKSBURY	MA	01876	17795/0267	469 MAIN ST
22-101	MATLEY THOMAS L & ANN P		6 EDWARD STREET	TEWKSBURY	MA	01876	02741/0015	6 EDWARD ST
22-103	SAMPSON AMY L & TORRES NICHOLA		521 MAIN ST	TEWKSBURY	MA	01876	37710/0210	521 MAIN ST
22-104	GATH MICHAEL S		509 MAIN ST	TEWKSBURY	MA	01876	32786/0097	509 MAIN ST
22-105	MARSHALL WILLIAM W		4 APPLETREE RD	TEWKSBURY	MA	01876	22457/0041	4 APPLETREE RD
22-106	KING WILLIAM D		6 APPLETREE RD	TEWKSBURY	MA	01876	33236/0228	6 APPLETREE RD
34-80-U0	KOZHUK ARKADY Y TR	725 SALEM STREET II REALTY TR	20 CHESTNUT ST	LYNNFIELD	MA	01940	38346/0199	553 MAIN ST
34-80-U0	TEWKSBURY ROUTE 38 LLC		2 REGENCY RIDGE	ANDOVER	MA	01810	19806/0076	553 MAIN ST
34-80-U0	OSJ OF TEWKSBURY LLC		375 COMMERCE PARK R	NORTH KINGSTON	RI	02852	25124/0291	553 MAIN ST
34-80-U0	TEWKSBURY ROUTE 38 LLC		2 REGENCY RIDGE	ANDOVER	MA	01810	19806/0076	553 MAIN ST
34-80-U0	OSJ TEWKSBURY LLC		375 COMMERCE PARK R	N KINGSTON	RI	02852	25124/0291	553 MAIN ST
34-80-MA	TEWKSBURY EQUITY PARTNERS LLC	C/O EVEREST PARTNERS LLC	150 EAST 58TH ST	NEW YORK	NY	10155	29996/0031	553 MAIN ST
21-24	MASIAS ANASTASIOS & MARIA		21 THIRD AVE	LOWELL	MA	01854	02653/0408	8 APPLETREE RD
22-70	CASWELL RUSSELL H	CASWELL PATRICIA A	442 MAIN STREET	TEWKSBURY	MA	01876	02377/0092	442 MAIN ST
22-72	SS MAMNOH LLC		PO BOX 320099	ALEXANDRIA	VA	22320	38787/1933	470 MAIN ST
22-84	COCHRANE MARLENE GASDIA		7 EDWARD ST	TEWKSBURY	MA	01876	24730/0156	7 EDWARD ST
22-86	MENDES ELIETE MARTINS	MARTINS JAIANE	3 EDWARD ST	TEWKSBURY	MA	01876	37227/0179	3 EDWARD ST
22-91	SILVA SERGIO CELESTINO	SILVA ELIZANGELA DO CARMO CE	477 MAIN ST	TEWKSBURY	MA	01876	37880/0012	477 MAIN ST
22-93	TWIN DICK BROTHERS LLC		461 MAIN ST	TEWKSBURY	MA	08176	23632/0134	461 MAIN ST
22-94	J A L REALTY TR	C/O LINDA THOMAS	98 SEVENTH ST	TEWKSBURY	MA	01876	06319/0277	453 MAIN ST
22-99	BRODERICK TIMOTHY D & LISA M		15 APPLETREE RD	TEWKSBURY	MA	01876	20555/0121	15 APPLETREE RD
22-100	SUTHERLAND BRIAN R & LISA M		4 EDWARD ST	TEWKSBURY	MA	01876	10796/0062	4 EDWARD ST
22-117	TYA TEWKSBURY PROPERTY LLC		505 SOUTH FLAGLER DR	WEST PALM B	FL	33401	00232/0042	468 MAIN ST

PROPOSED PLAN 485 MAIN STREET TEWKSBURY, MASSACHUSETTS



PROJECT
LOCATION

INDEX OF SHEETS

1 OF 8	COVER SHEET
2 OF 8	GENERAL NOTES
3 OF 8	DEMOLITION & EXISTING PLAN
4 OF 8	PROPOSED PLAN FIRST FLOOR EXTENSION
5 OF 8	PROPOSED PLAN SECOND FLOOR
6 OF 8	SEWER CUT CARD
7 OF 8	MISCELLANEOUS DETAILS
8 OF 8	DRAINAGE CHAMBERS DETAILS



DATE:

No.	Date	Description
1	10-4-2024	REV1 - Updated Civil Set
2		
3		

Prepared for:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

Property of:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

Prepared By:

Structural Engineering / Building Design
Civil Engineering / Management Services
ISRAA ISMAIL, PROFESSIONAL ENGINEER
221 BOSTON POST ROAD # 365E
MARLBOROUGH, MASSACHUSETTS 01752
PHONE: 781-540-0337
SITE: WWW.LEBRAENGINEERING.COM
EMAIL: CONTACT@LEBRAENGINEERING.COM

Project Title
PROPOSED PLAN
485 MAIN STREET
TEWKSBURY, MA

Sheet Title
TITLE SHEET

SCALE	1"=10'
DRAWN	IAI
CHECKED	GA
FILE NAME	FILE.DWG
PROJECT	H85 MAIN STREET, TEWKSBURY
ISSUE DATE	DECEMBER 8, 2023
JOB NO.	JOB NUMBER

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED ATTACHED EXTENDED BUILDING AS WELL AS THE PROPOSED 3-BED ROOM SECOND FLOOR ON THE PROPERTY.
2. PROPERTY BEARING AND DISTANCES, AND OTHER PROPERTY FEATURES LOCATIONS ARE OBTAINED FROM A PLAN PREPARED BY DAVID TERENCEZONI PLS , SEPTEMBER 18, 2023
3. ALL CONSTRUCTION MATERIALS & STANDARDS SHALL CONFORM TO THE CITY OF TEWKSBURY STANDARD SPECIFICATIONS. FOR ADDITIONAL DESIGN DETAILS CONSULT THE CITY OF TEWKSBURY'S "CONSTRUCTION DETAIL MANUAL" AS PREPARED BY THE DEPARTMENT OF PUBLIC WORKS.
4. ANY OR ALL PROPOSED UTILITY CONNECTIONS (i.e. SEWER & WATER) TO BE INSTALLED PER CITY OF TEWKSBURY STANDARDS.
5. SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIGSAFE AT (888) 344-7233. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITHIN IN THE VICINITY OF EXISTING UTILITIES. (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY PROVIDER.
6. THE CONTRACTOR SHALL:
 - 6.1. BE RESPONSIBLE TO COORDINATE HIS WORK WITH THE MUNICIPALITY TO LIMIT THE POTENTIAL DISRUPTIONS TO THE GENERAL PUBLIC.
 - 6.2. EMPLOY DUE CARE AND CAUTION TO PROTECT THE PUBLIC FROM DANGERS ASSOCIATED WITH THE OPERATION.
7. THE CONTRACTOR SHALL RECORD AND PROVIDE THE OWNER WITH AS-BUILT LOCATIONS OF ALL UTILITIES INSTALLED AS PART OF HIS/HER WORK, INCLUDING UTILITIES NOT INDICATED ON THE PLAN (I.E. GAS, CABLE, TV TELEPHONE, ELECTRIC, ETC.) IF APPLICABLE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO LAY OUT THE CONSTRUCTION AS SHOWN ON PLAN.
9. EXISTING UTILITIES WERE LOCATED AS PART OF THIS PLAN USING CITY GIS SYSTEM AND ARE TO BE FIELD VERIFIED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXISTING UTILITY LOCATIONS AND ENSURING THAT THE PROPOSED WORK DOES NOT CONFLICT WITH THE EXISTING UTILITY NOT SHOWN. ALL REQUIRED PERMITS SHALL BE SECURED PRIOR TO COMMENCING WORK. PRIOR TO COMMENCING ANY WORK ONSITE THE CONTRACTOR SHALL NOTIFY THE CITY OF TEWKSBURY DEPARTMENT OF PUBLIC WORKS.
10. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION.



DATE:

3		
2		
1	10-4-2024	REV1 - Updated Civil Set

No.	Date	Description
Revisions		

Prepared for:
 EUGENIE SAHYOUNI
 485 MAIN STREET
 TEWKSBURY, MA

Property of:
 EUGENIE SAHYOUNI
 485 MAIN STREET
 TEWKSBURY, MA

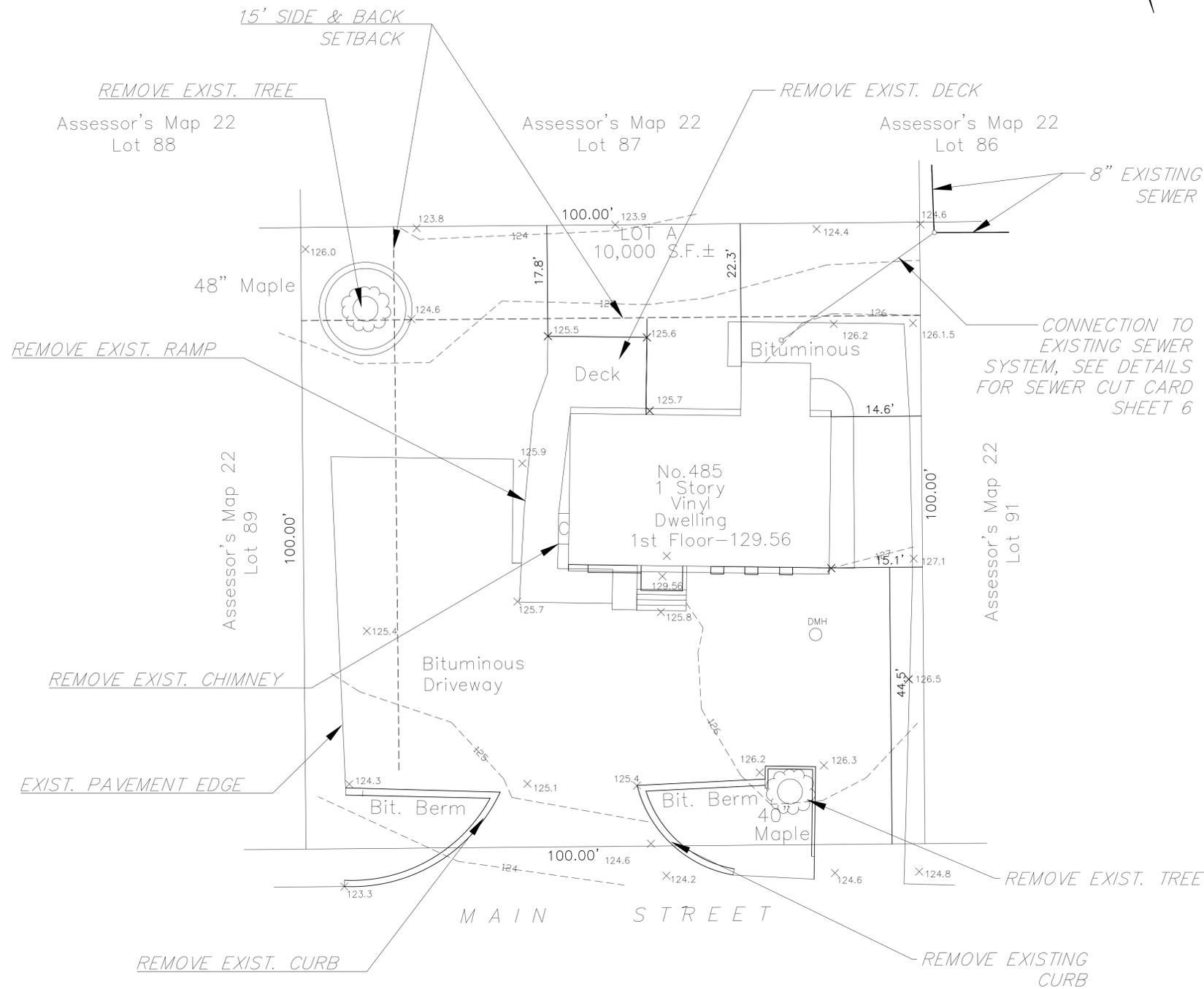
Prepared By:

Structural Engineering / Building Design
 Civil Engineering / Management Services
 GEORGE ATALLAH PROFESSIONAL ENGINEER
 221 BOSTON POST ROAD # 305E
 MARLBOROUGH, MASSACHUSETTS 01752
 PHONE: 781-540-0337
 SITE: WWW.LEBRAENGINEERING.COM
 EMAIL: CONTACT@LEBRAENGINEERING.COM

Project Title
 PROPOSED PLAN
 485 MAIN STREET
 TEWKSBURY

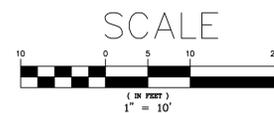
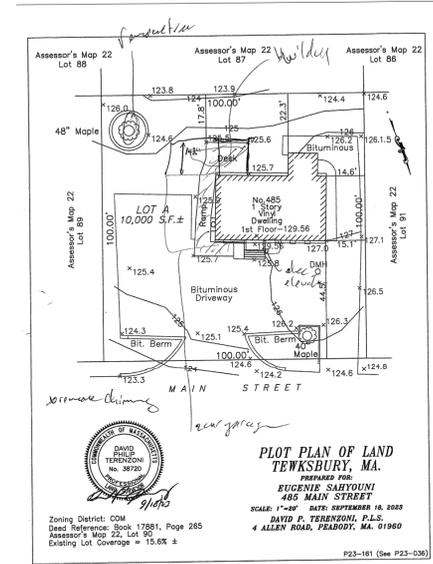
Sheet Title
 GENERAL NOTES

SCALE	
DRAWN	IAI
CHECKED	GA
FILE NAME	FILE.DWG
PROJECT	485 MAIN STREET, TEWKSBURY
ISSUE DATE	DECEMBER 8, 2023
JOB NO.	JOB NUMBER



GENERAL NOTES:

1. PROPERTY BEARING AND DISTANCES, AND OTHER PROPERTY FEATURES LOCATIONS ARE OBTAINED FROM A PLAN PREPARED BY DAVID TERENZONI PLS , SEPTEMBER 18, 2023



DATE:

No.	Date	Description
3		
2		
1	10-4-2024	REV1 - Updated Civil Set

Prepared for:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

Property of:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

Prepared By:

THE ENGINEERING & DESIGN, LLC
The solution for your next project
Structural Engineering / Building Design
Civil Engineering / Management Services
ISRAA ISMAIL, PROFESSIONAL ENGINEER
221 BOSTON POST ROAD # 365E
MARLBOROUGH, MASSACHUSETTS 01752
PHONE: 781-540-0337
SITE: WWW.LEBRAENGINEERING.COM
EMAIL: CONTACT@LEBRAENGINEERING.COM

Project Title
PROPOSED PLAN
485 MAIN STREET
TEWKSBURY

Sheet Title
EXISTING
CONDITIONS &
DEMO PLAN

SCALE	1"=10'
DRAWN	IAI
CHECKED	GA
FILE NAME	FILE.DWG
PROJECT	485 MAIN STREET, TEWKSBURY
ISSUE DATE	DECEMBER 8, 2023
JOB NO.	JOB NUMBER

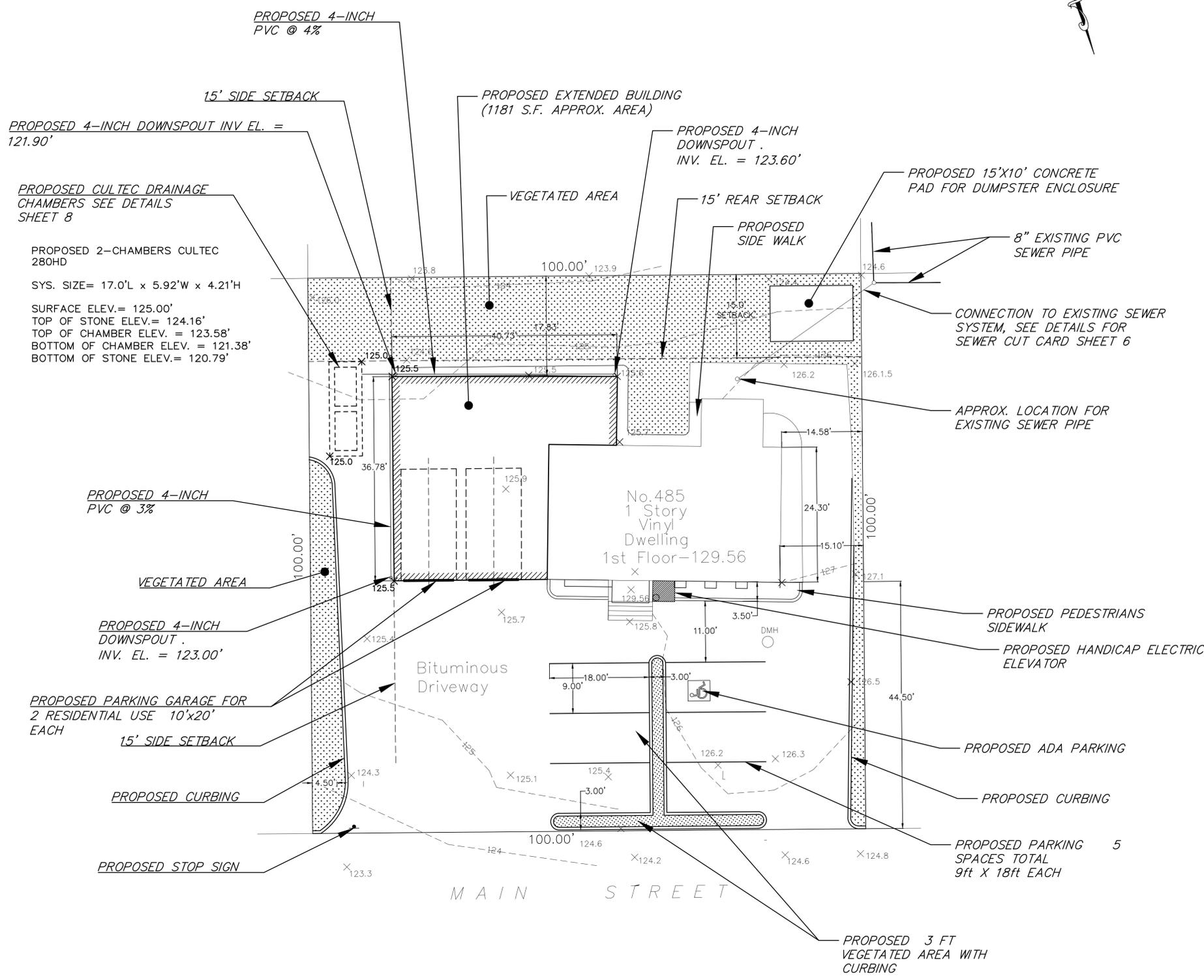


TABLE OF DIMENSIONAL REQUIREMENTS

All items listed below are identified as to Min. for requirement imposed	ZONING DISTRICT GENERAL BUSINESS (GB)			
	REQU'D	PROVIDED	RELIEF	
Lot Area (Min. in sq.ft.)	43,560	10,000	1	
Lot Frontage (Min. in ft.)	150	100	2	
Setback (Min. in ft.)	Front	25	41+	0
	Side	15	14.6	3
	Rear	15	18	0
Lot Width to Depth Ratio (Min.)	1:3	1:1	0	
Open Area (Min.)	20%	28.5%	0	
Building Coverage (Max.)	30%	23%	0	
Building Height (Max. ft)	35	16.83	0	

RELIEF REQUESTED

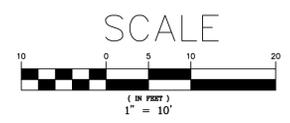
- 1- Pre-existing structure
- 2- Pre-existing structure
- 3- Pre-existing structure

GENERAL NOTES:

1. Property bearing and distances, and other property features locations are obtained from a plot plan prepared by David P. Terenzoni, PLS dated 9/18/2023.
2. Minimum parking spaces required (Sec 6.1.3 Zoning Bylaw):
 - 2.1. For the existing business (personal service establishment /hair salon) is 1 space per 200 sq.ft of gross floor area. Existing hair salon business will remain and reduced in size to less than 800 sq. ft. Hence parking spaces required for the hair salon will be $\frac{800}{200} = 4$ parking spaces.
 - 2.2. For the proposed residential area is 2 spaces per unit for a three-bedroom unit plus 10% for visitor parking. Hence parking spaces required for the residential area will be $2 + 2 \times 10\% = 2.2$ spaces = 3 parking spaces required, provided parking spaces 5 business parking and one for ADA parking space.

DRAINAGE NOTES:

1. The Stormwater management system is designed to catch entire run-off on the proposed roof for the building extension sized for 2 inch storm event and checked for 2-year and 10-year storm events.
2. The post-construction impervious roof area added from the building extension is 980 S.F. Minimum storage required for 2 in rain event: = 2 inch/(12 inch/foot) x 980 sq. ft. = 163 cu. ft. = 1219 gal. Provided storage from Cultec system is 190 cu.ft.
3. Estimated depth to high groundwater per soil assessment conducted on July 25, 2024 is 7 ft
4. Runoff from the property should not be directed across property lines towards abutting properties or streets.
5. Connecting sump pump systems and foundation drains to the CULTEC system is prohibited.
6. Contractor to coordinate with the Tewksbury Engineering Division to perform inspections of i) bottom of excavation and ii) CULTEC system after installation but before backfill. The Engineering Division should be notified 24 hours prior to inspection.
7. If subsurface conditions do not match the soil assessment conditions, then the Contractor shall contact the Design Engineer and the Tewksbury Engineering Division for review immediately.



DATE:

No.	Date	Description
1	10-4-2024	REVI - Updated Civil Set

Prepared for:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

Property of:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

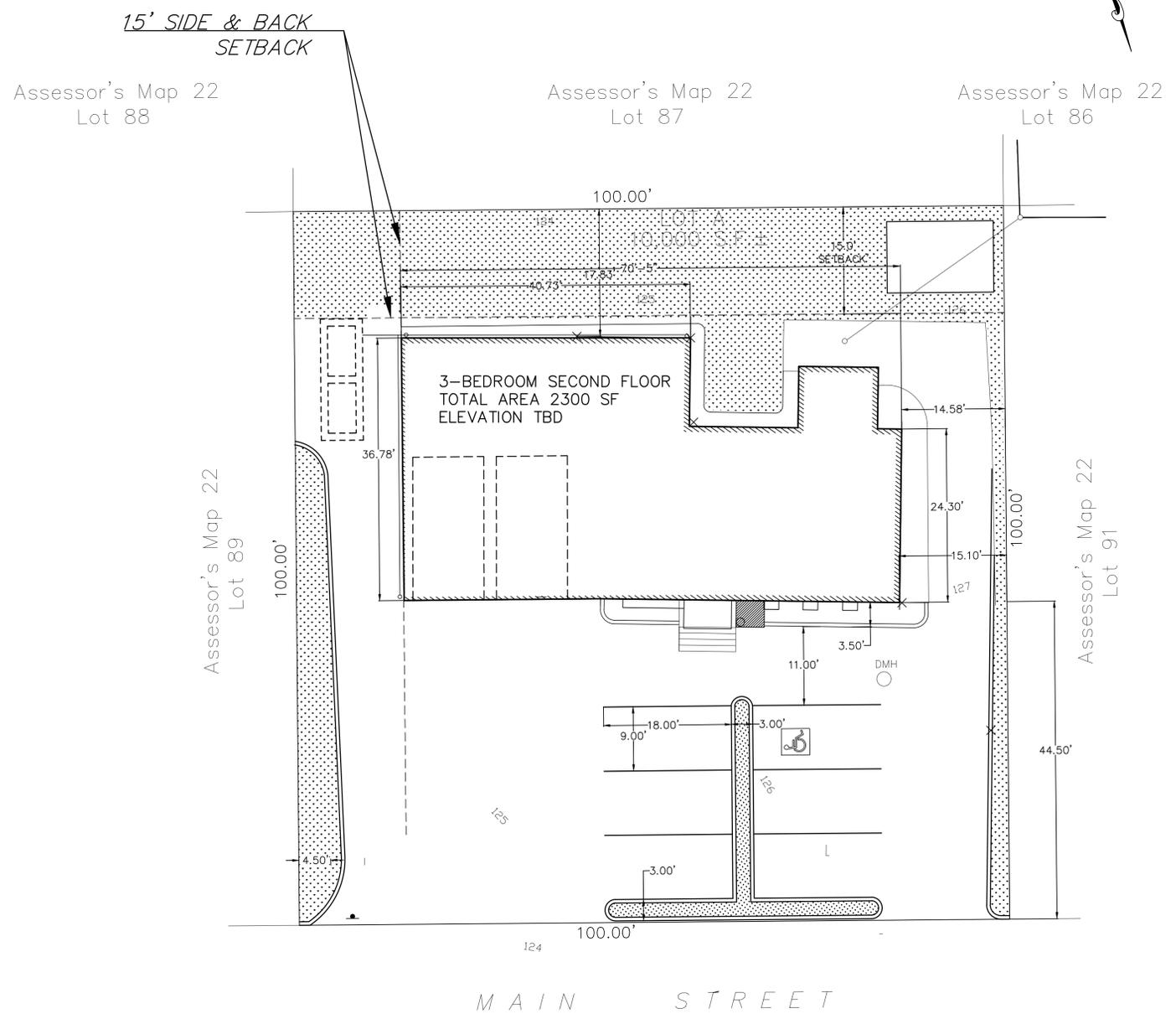
Prepared By:

Structural Engineering / Building Design
Civil Engineering / Management Services
ISRAA ISMAIL, PROFESSIONAL ENGINEER
221 BOSTON POST ROAD # 365E
MARLBOROUGH, MASSACHUSETTS 01752
PHONE: 781-540-0337
SITE: WWW.LEBRAENGINEERING.COM
EMAIL: CONTACT@LEBRAENGINEERING.COM

Project Title
PERMIT PLAN
485 MAIN STREET
TEWKSBURY

Sheet Title
PROPOSED SITE
PLAN- FIRST
FLOOR EXTENSION

SCALE	1" = 10'
DRAWN	IAI
CHECKED	GA
FILE NAME	FILE.DWG
PROJECT	H85 MAIN STREET, TEWKSBURY
ISSUE DATE	DECEMBER 8, 2023
JOB NO.	JOB NUMBER



See architectural drawings for building extension details and dimensions.



DATE:

No.	Date	Description
3		
2		
1	10-4-2024	REV1 - Updated Civil Set

Prepared for:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

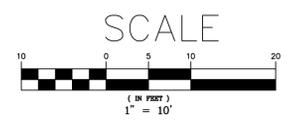
Property of:
EUGENIE SAHYOUNI
485 MAIN STREET
TEWKSBURY, MA

Prepared By:

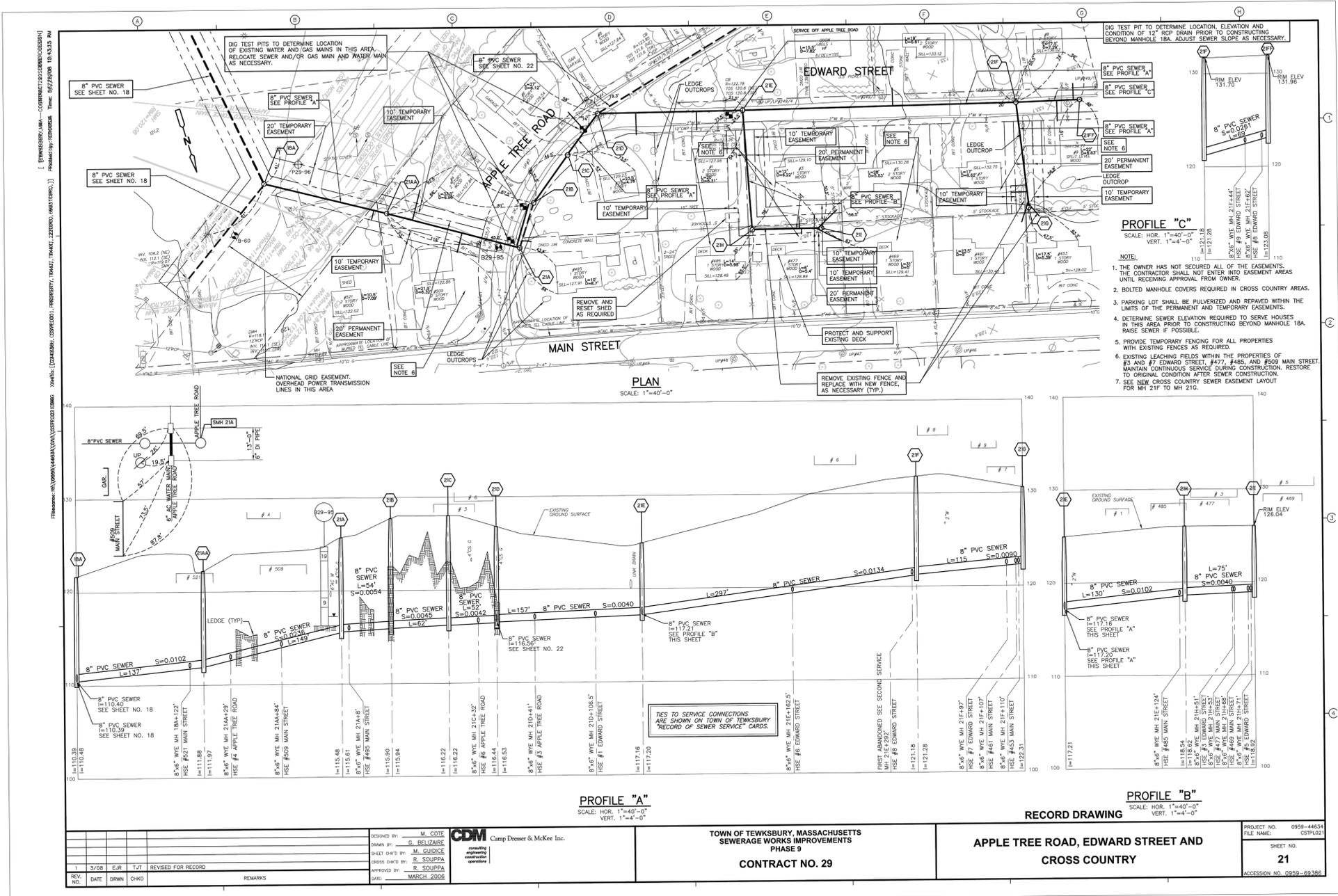
Structural Engineering / Building Design
Civil Engineering / Management Services
ISRAA ISMAIL, PROFESSIONAL ENGINEER
221 BOSTON POST ROAD # 305E
MARLBOROUGH, MASSACHUSETTS 01752
PHONE: 781-540-0337
SITE: WWW.LEBRAENGINEERING.COM
EMAIL: CONTACT@LEBRAENGINEERING.COM

Project Title
PROPOSED PLAN
485 MAIN STREET
TEWKSBURY

Sheet Title
PROPOSED SITE
PLAN- SECOND
FLOOR



SCALE	1" = 10'
DRAWN	IAI
CHECKED	GA
FILE NAME	FILE.DWG
PROJECT	H85 MAIN STREET, TEWKSBURY
ISSUE DATE	DECEMBER 8, 2023
JOB NO.	JOB NUMBER



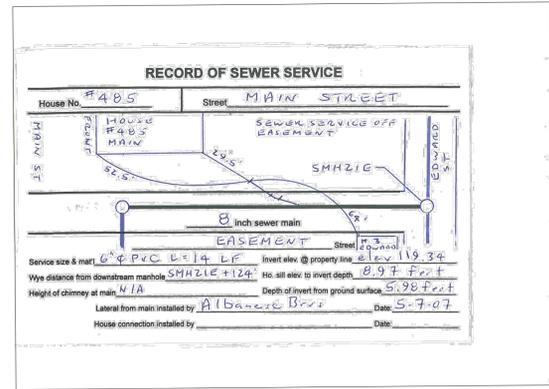
REV. NO.	DATE	DRWN	CHKD	REMARKS
1	3/08	EJR	TJT	REVISED FOR RECORD

DESIGNED BY: M. COTE
 DRAWN BY: C. BELZARIS
 SHEET CHECKED BY: M. GUIDICE
 CROSS CHECKED BY: B. SOUPPA
 APPROVED BY: R. SOUPPA
 DATE: MARCH 2008

CDM Camp Dresser & McKee Inc.
TOWN OF TEWKSBURY, MASSACHUSETTS
SEWERAGE WORKS IMPROVEMENTS
PHASE 9
CONTRACT NO. 29

APPLE TREE ROAD, EDWARD STREET AND
CROSS COUNTRY

PROJECT NO. 0959-44634
 FILE NAME: CSTPL021
 SHEET NO. **21**
 ACCESSION NO. 0959-69386



DATE: _____

No.	Date	Description
3		
2		
1	10-4-2004	REV1 - Updated Civil Set

Prepared for:
EUGENE SAHYOUNI
 485 MAIN STREET
 TEWKSBURY, MA

Property of:
EUGENE SAHYOUNI
 485 MAIN STREET
 TEWKSBURY, MA

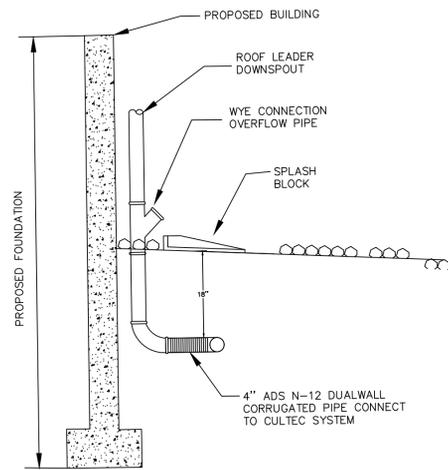
Prepared By:

LEBRA
 THE ENGINEERING & DESIGN, LLC
 Structural Engineering / Building Design
 Civil Engineering / Management Services
 ISRAA ISMAIL, PROFESSIONAL ENGINEER
 221 BOSTON POST ROAD # 365E
 MARLBOROUGH, MASSACHUSETTS 01752
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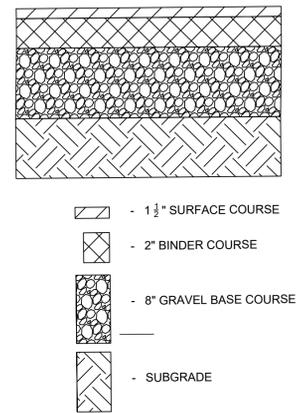
Project Title
PROPOSED PLAN
485 MAIN STREET
 TEWKSBURY

Sheet Title
SEWER
CONNECTION CUT
CARD

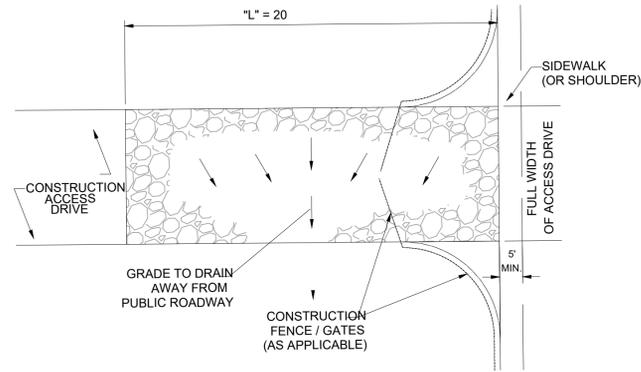
SCALE 1"=10'
 DRAWN IAI
 CHECKED GA
 FILE NAME FILE.DWG
 PROJECT 485 MAIN STREET, TEWKSBURY
 ISSUE DATE DECEMBER 8, 2023
 JOB NO. JOB NUMBER



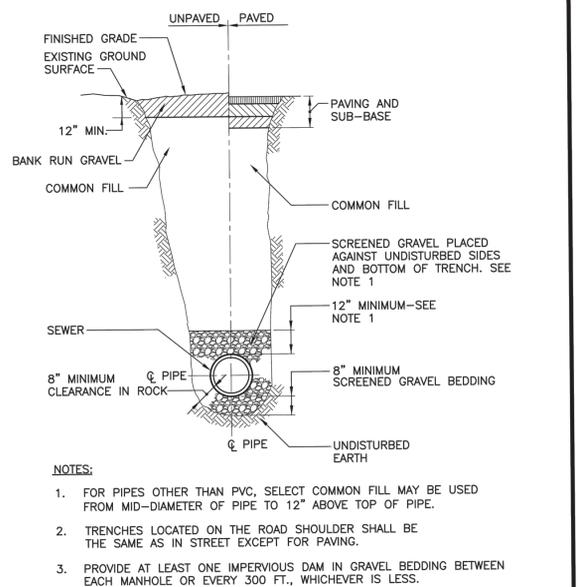
ROOF LEADER DOWNSPOUT
NOT TO SCALE



PAVEMENT CROSS SECTION
NOT TO SCALE

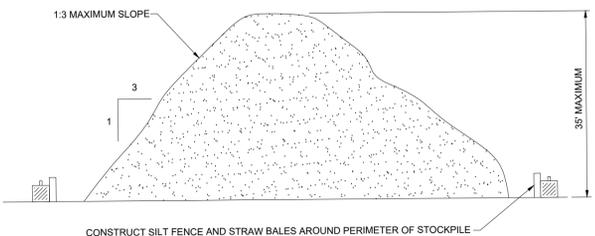


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



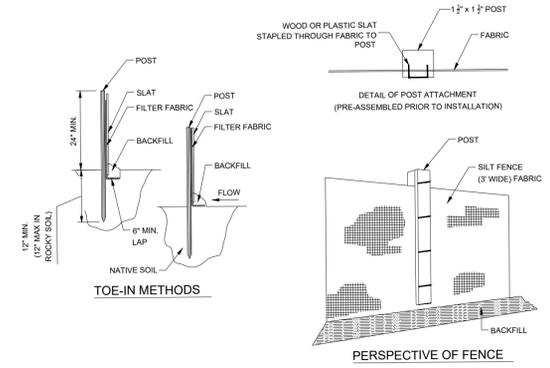
TYPICAL TRENCH DETAIL FOR SEWER PIPE
NTS

- NOTES:**
- FOR PIPES OTHER THAN PVC, SELECT COMMON FILL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE.
 - TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE THE SAME AS IN STREET EXCEPT FOR PAVING.
 - PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE OR EVERY 300 FT., WHICHEVER IS LESS.



TEMPORARY STOCKPILE DETAIL

- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
 - UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.



TYP. SILTATION FENCE DETAIL

TOWN OF TEWKSBURY DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION	SEWER	DETAIL
	CONSTRUCTION STANDARDS	A-1 DATE JULY 2012



DATE:

No.	Date	Description
3		
2		
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485 MAIN STREET
TEWKSBURY, MA

Prepared by:
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485 MAIN STREET
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Project Title
PROPOSED PLAN
485 MAIN STREET
TEWKSBURY

Sheet Title
MISCELLANEOUS
DETAILS

SCALE	1"=10'
DRAWN	IAI
CHECKED	GA
FILE NAME	FILE.DWG
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