



TRAHAN SCHOOL RESIDENCES

MID-CENTURY MODERN REIMAGINED

Interview | *SEPTEMBER 17, 2024*



EXPERIENCE

Introducing Project Team & Relevant Work





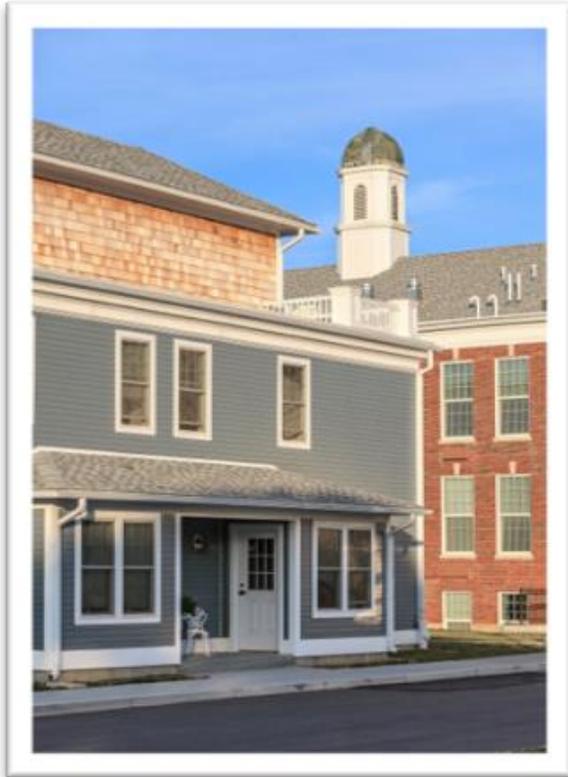
ICON'S MISSION – CREATING COMMUNITY

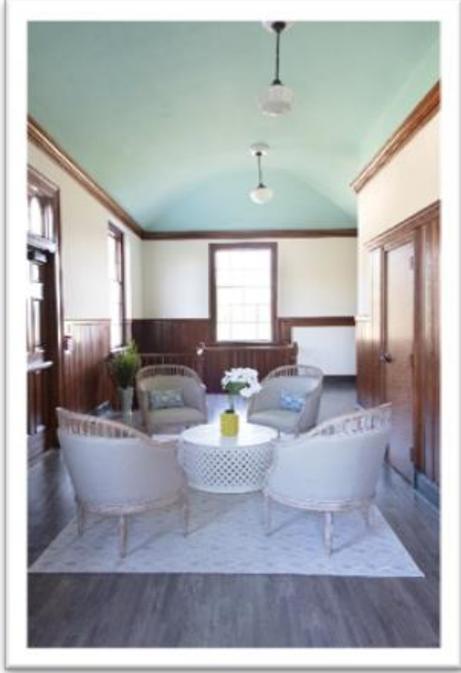
ICON is motivated by design's ability to positively transform, empower + restore.

We delight in collaboration + commitment to ongoing dialogue + discovery.

We champion innovation to strengthen communities + create enduring value.







COADY SCHOOL

Bourne MA
63 Units







COYLE SCHOOL

Taunton MA
60 Units





HELENA CROCKER

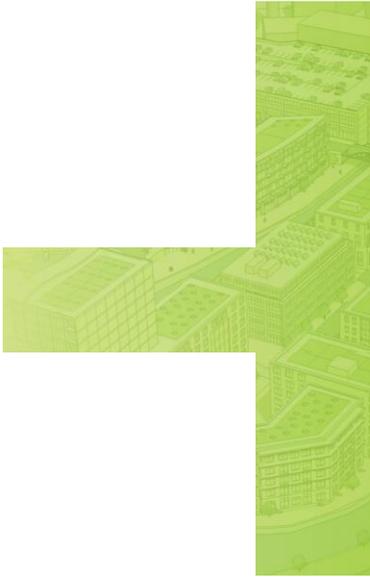
Westford MA
18 Units





DESIGN CONCEPTS

Mid-Century Modern Reimagined





1. CONTEXTUALLY FRAMED ADDITION



2. MIDCENTURY MODERN ENTRY FEATURES



3. PRIVATE INTERIOR COURTYARD

TRANSFORM
REUSE OF THE EXISTING TRAHAN SCHOOL AND CELEBRATE MIDCENTURY MODERN FEATURES, REUSING THE EXISTING ENTRY. TRANSFORM EXISTING CLASSROOMS INTO SENIOR LIVING SPACES.

RESTORE
EXISTING PERIWINKLE TRAIL NATURE WALK

PLAY
MAINTAIN AND REHAB EXISTING PLAY AREA FOR THE COMMUNITY

MAINTAIN
PRESERVE EXISTING NATURAL SETTING AND ACTIVE OUTDOOR SPACE

GROW
NEW ADDITION BEHIND THE EXISTING GYMNASIUM, SENSITIVE TO THE EXISTING FABRIC. ALLOWS FOR GREEN COURTYARD BETWEEN NEW AND EXISTING.

ILLUSTRATIVE SITE PLAN



DEVELOPMENT SUMMARY

	HISTORIC			Sub	NEW CONSTR		Sub		
	1 BR	1BR +den	2 BR		Total	3 BR		Total	
2 nd Flr	na	na	na	0	15	15			
1 st Flr	4	10	2	16	15	15			
SUBTOTALS	4	10	2	16	30	30			
UNITS								UNITS	46
PARKING								SPACES	50



2 1BR UNIT IN [E] CLASSROOM



1 FLOOR PLAN

- LEGEND**
- 1 BEDROOM
 - 2 BEDROOM
 - COMMON
 - EXISTING WALLS
 - NEW WALLS

BUILDING PLAN & UNIT PLAN CONCEPT



OVERALL EXTERIOR VIEW



FUNDING & TIMING

Trahan School Redevelopment





QUESTIONS

Thank you!





ICON
ARCHITECTURE



SIMPKINS SCHOOL RESIDENCES

SOUTH YARMOUTH, MA

Nestled in the historic district of South Yarmouth, the 1930's built John Simpkins School has been redesigned to offer 65 senior housing units. The adaptive reuse, which totals up to 78,000 SF, includes a historically-sensitive addition per the Cape Cod Commission's Regional Policy Plan. Amenities include a community room and an expansive green space which enlivens the landscape.



COADY SCHOOL RESIDENCES

BOURNE, MA

Coady School Residences in Bourne connects the community to the town's rich cultural history with affordable housing options set within the former elementary school. Fifty-eight residential units for active seniors are situated amongst a variety of communal spaces rich in historic character retained in the renovations: original open stairs, full proscenium at the entry lobby, and all washed in natural daylight through the large restored windows.



FULTON SCHOOL RESIDENCES

WEYMOUTH, MA

The 1928 National Registered Alice E. Fulton School has been reborn as the Fulton School Residences. The adaptive reuse and historically sensitive addition to the Colonial Revival structure provides 63 apartments for active seniors. Many original details were preserved, including broad corridors with wood wainscoting, high ceilings, and large windows. Original classroom cloak closets were incorporated into the residential units as niches for resident display.



OXFORD SCHOOL RESIDENCES

FAIRHAVEN, MA

The Oxford Elementary School site in the north end of Fairhaven, MA is beautifully transformed into 52 apartment units of affordable senior housing. The prominent National Register School's original 1896 and 1914 connector have been adaptively reused and restored as exemplary of Fairhaven's Victorian architecture, maintaining the central bell tower, ornate brick, terracotta detailing, sandstone sills, and granite base. Large historic windows, detailed mill work and high ceilings are representative attributes of this modern preservation designed for new environments for aging.



SCHOOL STREET RESIDENCES

ATHOL, MA

The Art Deco style Athol Middle School, constructed in 1915, has been brought back to life as a 50-unit affordable, active adult community. The original two-story gymnasium was subdivided into eight units, incorporating the original stage and proscenium detailing into the units. This project was awarded the Paul Tsongas Award for Preservation by Mass Historic.



BROWN SCHOOL RESIDENCES

PEABODY, MA

The historic Brown School in Peabody, MA, was originally constructed in 1911, with additions in 1920 and 1950. The reuse of the 30,000 SF historic school structure includes 20 units with community facilities and management space provided on the ground level. Immediately to the east of the school building sits a 61-unit, 4-story, 50,000 SF addition.



BF BROWN SCHOOL, STABLES, AND ANNEX

FITCHBURG, MA

Three historic buildings make up the new Fitchburg Arts Community providing 68 units for artists along with generous common areas for private and shared studio space and community enhancing amenities. All buildings are on the National Register of historic places and are being restored in accordance with Secy of the Interior Standards.



WING SCHOOL RESIDENCES

SANDWICH, MA

The initial phase of development will preserve the original 1927 portion of the Henry T Wing School and auditorium as the cornerstone of the new community—with services provided for both resident seniors and those in greater Sandwich. The historic school will house sixteen (12) units and another thirty-four (31) units will be in a new 2-story building created to the rear of the site





FEDERAL ST AND HAWTHORNE LOFTS
SALEM, MA

The 1906 St James School and the 1941 St Mary's school will be sensitively adapted to provide 31 units of senior housing and 29 units of artist live-work housing, respectively. The St. Mary's school in Downtown Salem will also provide a sanctuary for the creative community and public art within the rehabbed auditorium.



COYLE SCHOOL RESIDENCES
TAUNTON, MA

Adaptive reuse of 1933 historic Gothic revival-style school and redeveloped site will be transformed into 60 units of affordable family housing. The historic school will house 32 families within the classroom wings and historic gymnasium; with another 18 families residing in a lower addition stepping down behind the auditorium.



RIVERBEND - BIGELOW SCHOOLS
RESIDENCES AT THE PARK
ATHOL, MA

Preserving the historic 1912 Ellen Bigelow School and the 1907-1937 Riverbend School, the project will sensitively adapt the school buildings to provide 33 units of affordable family housing. Situated between both schools is a new social core articulated in a proposed addition. This building will add 20 new apartments designed for aging in place.



BALDWINVILLE SCHOOL
TEMPLETON, MA

The Project consists of 54 units of affordable and mixed-income family housing in two buildings: the historic school will house sixteen (15) units and another thirty-four (39) units will be in a new 3-story building created to the rear of the site.

