

**Town of Tewksbury  
Massachusetts**

**Planning Board**

**APPLICATION FOR HEARING**

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**Application is hereby made for a:**

**(Check one or more and fill in appropriate blanks)**

- 9300** Special Permit
- 9400** Site Plan Special Permit
- 9500** Use Special Permit
- Sign Special Permit
- Modification to Special Permit # \_\_\_\_\_
- Other(s)** \_\_\_\_\_

**Appendix A, Table of Uses reference(s):**

Section Letter	Use Number	Description

**Address of Application Property:** 1058 Chandler St

**Development Name:** N/A

Lot Area 15,607 ft<sup>2</sup> Present Use Single Family Home Zoning District(s) R40

Assessor's Map(s) and Lot(s) 43-29 Land Court Cert. No. N/A Bk/Pg N/A

Middlesex North Registry of Deeds, Bk/Pg 02443/0308

**Applicant:** Name: Gordon & Gayle Schnaper Telephone: 978-764-2236 (cellphone)

Address: 1058 Chandler St City/State: Tewksbury MA

Applicant Email Address: gorschn58@comcast.net

**Property Owner:** Name: Gordon & Gayle Schnaper Telephone: 978-851-5052 (landline)

Address: 1058 Chandler St City/State Tewksbury MA

**Brief Description of Proposed Use:** (Attach Written Statement) See Attached

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The proposed addition has an area of 701 sq. ft and the existing dwelling has an area of 924.5 sq. ft.

(current/proposed)

Frontage of 100.0 ft. Side yard setback of 30.0/~11.0 ft. and 21.3/21.3 ft.

Front yard setback of 23.2 ft

The proposed addition will have 2 number of bedrooms. One bedroom in current dwelling will be removed by the construction of the new space.

Is this a contiguous single family dwelling, i.e. is there one common entry connected? No  
Describe the door access the proposed addition will have: First floor – one interior, one exterior plus garage door; Second floor – one interior from current dwelling

Who will be the occupants of the proposed addition? Mikaela Charboneau (daughter) and children Tobias and Connor

Number of additional parking spaces: N/A

Does the owner of the single family dwelling live in the primary living space? Yes

History of Applications before any Town Boards/Commissions for this Property:  
(Date, Board, Result, Deed References: Attach additional sheet if needed.)

Previous variance: Issued February 27, 1989, #141-89

Information submitted is true to the best of my knowledge:

Signature of Applicant (or Representative): \_\_\_\_\_ Date: \_\_\_\_\_

Owner's Signature (if other than Applicant or Representative): \_\_\_\_\_

**FILING FEE MUST ACCOMPANY THIS APPLICATION**  
Please See Fee Schedule: Make Checks Payable to the Town of Tewksbury

Schnaper – 1058 Chandler St – Proposed Use Narrative for Family Suite Special Permit Application

The proposed addition is for our daughter and her two children to continue to live with us. It will include a two-car garage on the first floor with a master suite for the property owners and a bedroom for one of our grandsons on the second floor. The overall intent, besides gaining a garage, is to add one bedroom to the home so each grandson can have his own.

The construction will add 690 square feet of additional living space, with a footprint of approximately 700 square feet.

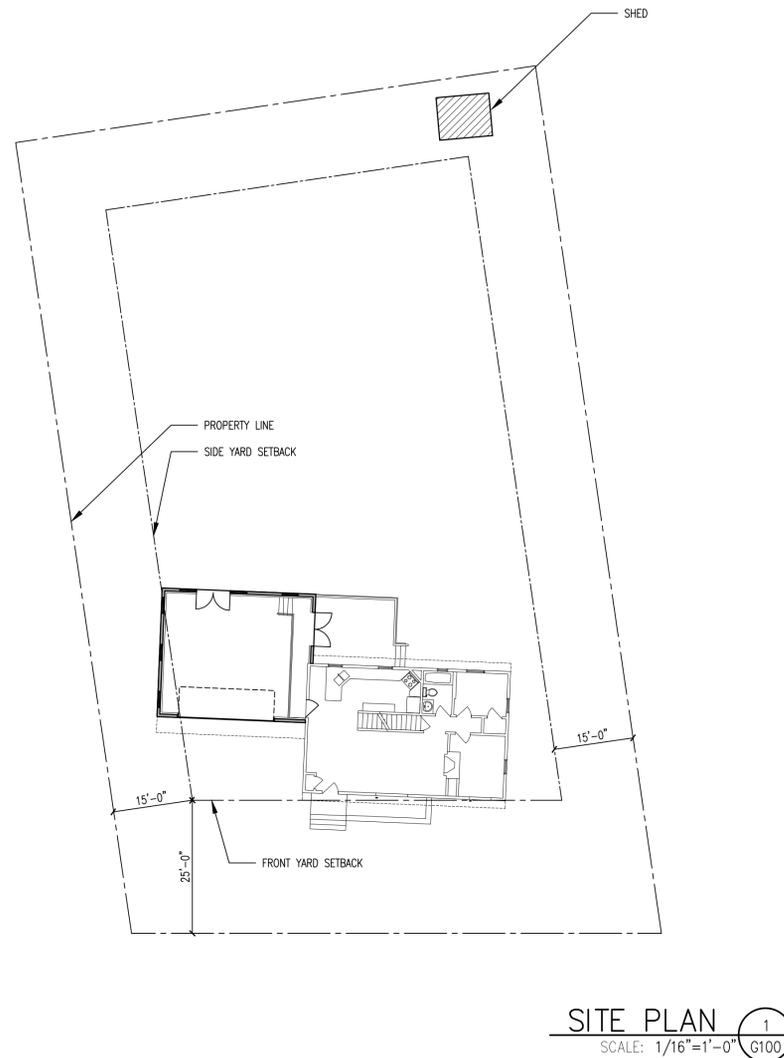
# ADDITION & RENOVATIONS TO SCHNAPER RESIDENCE

1058 CHANDLER STREET, TEWKSBURY, MA 01876

DESIGNER OF RECORD:

**ARCHITECTURAL:**  
ROBERT WILLIAM HANNON ARCHITECT PLLC  
264 NORTH BROADWAY UNIT #205, SALEM, NH 03079

**SCHEMATIC DESIGN SET A**  
JUNE 30TH, 2021



SIGNATURE INDICATES THE OWNER HAS REVIEWED & APPROVED THE DRAWINGS

**GAYLE SCHNAPER:** \_\_\_\_\_  
PRINT NAME SIGNATURE DATE

SIGNATURE INDICATES THE OWNER HAS REVIEWED & APPROVED THE DRAWINGS

**GORDON SCHNAPER:** \_\_\_\_\_  
PRINT NAME SIGNATURE DATE

**LEGEND**

	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	NEW PARTITION
	PARTIAL WALL INFILL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR & NUMBER
	NEW WINDOW
	WINDOW TAG
	EXTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	DETAIL TAG
	ITEM HIDDEN OR ABOVE
	RECESSED (CAN) LIGHT FIXTURE

**DRAWING SHEET INDEX**

<b>ARCHITECTURAL</b>	
G100	COVER SHEET
A101	MAIN LEVEL FLOOR PLAN
A102	UPPER LEVEL FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A901	3D VIEWS

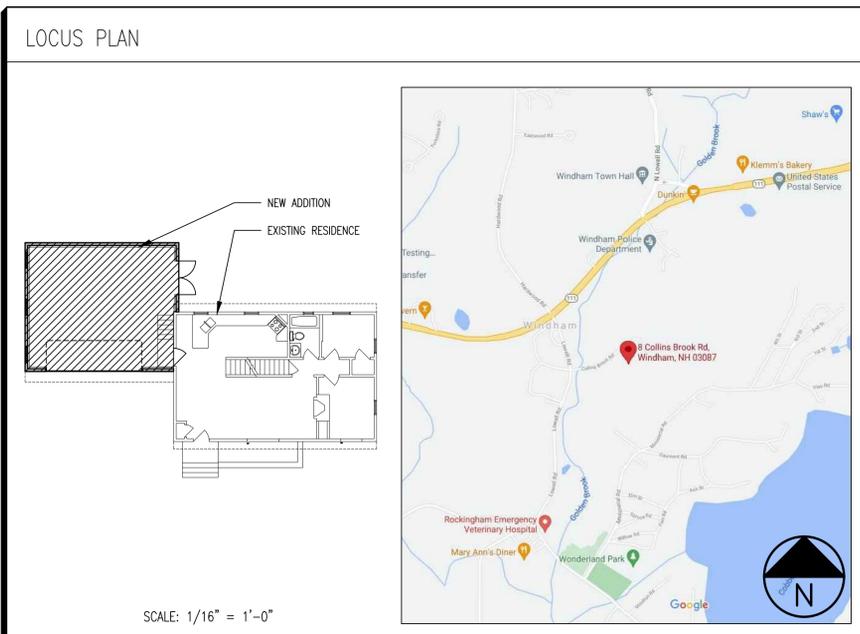
  

**PROJECT DETAILS**

LOCATION OF PROJECT: 1058 CHANDLER STREET, TEWKSBURY, MA, 01876  
 TYPE OF PROJECT: TWO STORY ADDITION TO REAR OF EXISTING HOUSE, DEMOLITION OF EXISTING SUNROOM, ADDITION OF NEW TWO CAR GARAGE, WITH NEW BEDROOM AND MASTER SUITE ABOVE.

<b>ORIGINAL SQUARE FOOTAGE</b>	
TOTAL GROSS AREA:	2,896
LIVABLE:	1,952
BASEMENT:	944
<b>ADDITION SQUARE FOOTAGE</b>	
TOTAL GROSS AREA:	1,380
LIVABLE:	690

- PROJECT NOTES**
- DRAWINGS LACKING ARCHITECT'S SIGNATURE ARE NOT TO BE CONSIDERED "FOR CONSTRUCTION".
  - ALL CONSTRUCTION TO COMPLY WITH MASSACHUSETTS STATE BUILDING CODE, ZONING ORDINANCE, AND ALL OTHER LOCAL REGULATIONS.
  - DRAWING SETS MARKED ISSUED FOR REVIEW ARE NOT INTENDED FOR CONSTRUCTION.
  - BUILDER OR CONTRACTOR MUST BE PROPERLY LICENSED WITHIN THE STATE THE PROJECT RESIDES IN.
  - THIS DRAWING SET IS INTENDED TO CONVEY THE GENERAL INTENT OF THE DESIGN ONLY. THE BUILDER IS RESPONSIBLE FOR ALL ASPECTS OF THE PROJECT.
  - ANY PRODUCT IDENTIFIED IN THE DRAWING SET IS A RECOMMENDATION AND IS SUBJECT TO SUBSTITUTION.
  - PRESENT ALL DISCREPANCIES FOUND IN THE DRAWING SET TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.



**rwh architect**  
ROBERT WILLIAM HANNON ARCHITECT  
264 N. BROADWAY, UNIT 205  
SALEM, NH 03079  
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NOT FOR CONSTRUCTION

CONSULTANT

ADDITIONS & RENOVATIONS  
SCHNAPER RESIDENCE  
1058 CHANDLER STREET, TEWKSBURY, MA

**COVER SHEET**

SHEET TITLE

NORTH ARROW

REVISIONS	
NO.	DESCRIPTION

MK.	DATE
DATE	30 JUNE 2021
DWG NO.	21-019
APPR.	

SHEET NO.  
**G100**

**GENERAL NOTES**

1. CONTRACTOR TO COORDINATE & VERIFY ROUGH OPENINGS.
2. ALL WINDOW COMPONENTS & GLAZING SHALL BE DESIGNED TO BE ABLE TO WITHSTAND A DESIGN WIND SPEED AS INDICATED ON STRUCTURAL DRAWINGS.
3. COORDINATE WINDOW & DOOR SELECTION WITH OWNER. PROVIDE ANDERSEN 100 SERIES UNLESS OTHERWISE NOTED.
4. ANY WINDOW GLAZING CLOSER THAN 18" FROM THE FLOOR, EXCEEDING 6 SQUARE FEET IN AREA, IN A DOOR, OR WITHIN 24" OF A DOOR MUST BE TEMPERED GLASS.
5. PROVIDE CLEAR, DOUBLE-GLAZED, LOW-E GLAZING.
6. ALL WINDOWS TO BE PROPERLY FLASHED AS RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS.
7. HARDWOOD FLOOR TO BE CONTINUOUS BELOW CABINETS & APPLIANCES.
8. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN BATHROOMS & WET LOCATIONS.
9. USE CEMENT BOARD AT ALL LOCATIONS OF CERAMIC WALL TILE OR SIMILAR MATERIAL. CONFIRM LOCATIONS WITH OWNER.
10. PROVIDE SCREENS ON ALL OPERABLE WINDOWS.
11. PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL-MOUNTED ITEMS.
12. GENERAL CONTRACTOR TO PROVIDE PLUMBING AND MECHANICAL INFRASTRUCTURE AS REQUIRED TO SUIT FINAL PROJECT. SUFFICIENT VENTILATION FOR ALL HABITABLE SPACES MUST BE PROVIDED.
13. PROVIDE GARAGE SEPARATION IN ACCORDANCE WITH IRC R302.5.
14. STAIRWAYS SHALL BE 36" CLEAR WIDTH, MINIMUM.
15. STAIR RISERS SHALL BE 7"- $\frac{3}{4}$ " MAXIMUM. TREADS DEPTHS SHALL BE 10".
16. HANDRAILS TO BE MOUNTED AT 36 INCHES ABOVE FINISH FLOOR.
17. EMERGENCY ESCAPE & RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.7 SF, MINIMUM AND NOT LESS THAN 24 INCHES CLEAR IN HEIGHT AND NOT LESS THAN 20 INCHES CLEAR IN WIDTH.
18. ALL LOCATIONS OF SPRAY FOAM MUST BE CONCEALED BY  $\frac{1}{2}$ " GYP. BOARD OR OTHER APPROVED FIRE BARRIER.
19. ALL INTERIOR DOORS TO BE LOCATED 4" FROM AN INSIDE CORNER, U.N.O.
20. PROVIDE SCHLUTER-KERDI AND SCHLUTER-KERDI FLEX FOR SHOWER AREAS AND TRANSITION WET AREAS.
21. PROVIDE SCHLUTER-DITRA UNCOUPLING MEMBRANE WHERE TILE IS LOCATED ON A PLYWOOD SUBSTRATE.

**PARTITION TYPES**

TYPE	INFILL	DESCRIPTION
A		(ALL EXTERIOR WALLS, UNLESS NOTED OTHERWISE) <ul style="list-style-type: none"> <li>• SIDING AS INDICATED.</li> <li>• 1x STRAPPING</li> <li>• 1" RIGID POLYSTYRENE INSULATION</li> <li>• TYVEK BUILDING WRAP</li> <li>• 1/2" CDX PLYWOOD SHEATHING</li> <li>• 2x6 STUD BACKUP BEARING WALL</li> <li>• MINERALWOOL INSULATION, FULL DEPTH</li> <li>• 10 MIL. POLY VAPOR BARRIER</li> <li>• 1/2" GYP. WALL BOARD</li> </ul>
B		(ALL INTERIOR WALLS, UNLESS NOTED OTHERWISE) <ul style="list-style-type: none"> <li>• 1 LAYER 1/2" GYPSUM WALL BOARD EA. SIDE</li> <li>• ACOUSTIC BATT INSULATION (FULL DEPTH)</li> <li>• 2x4 WD. STUD @ 16" O.C UON.</li> </ul>

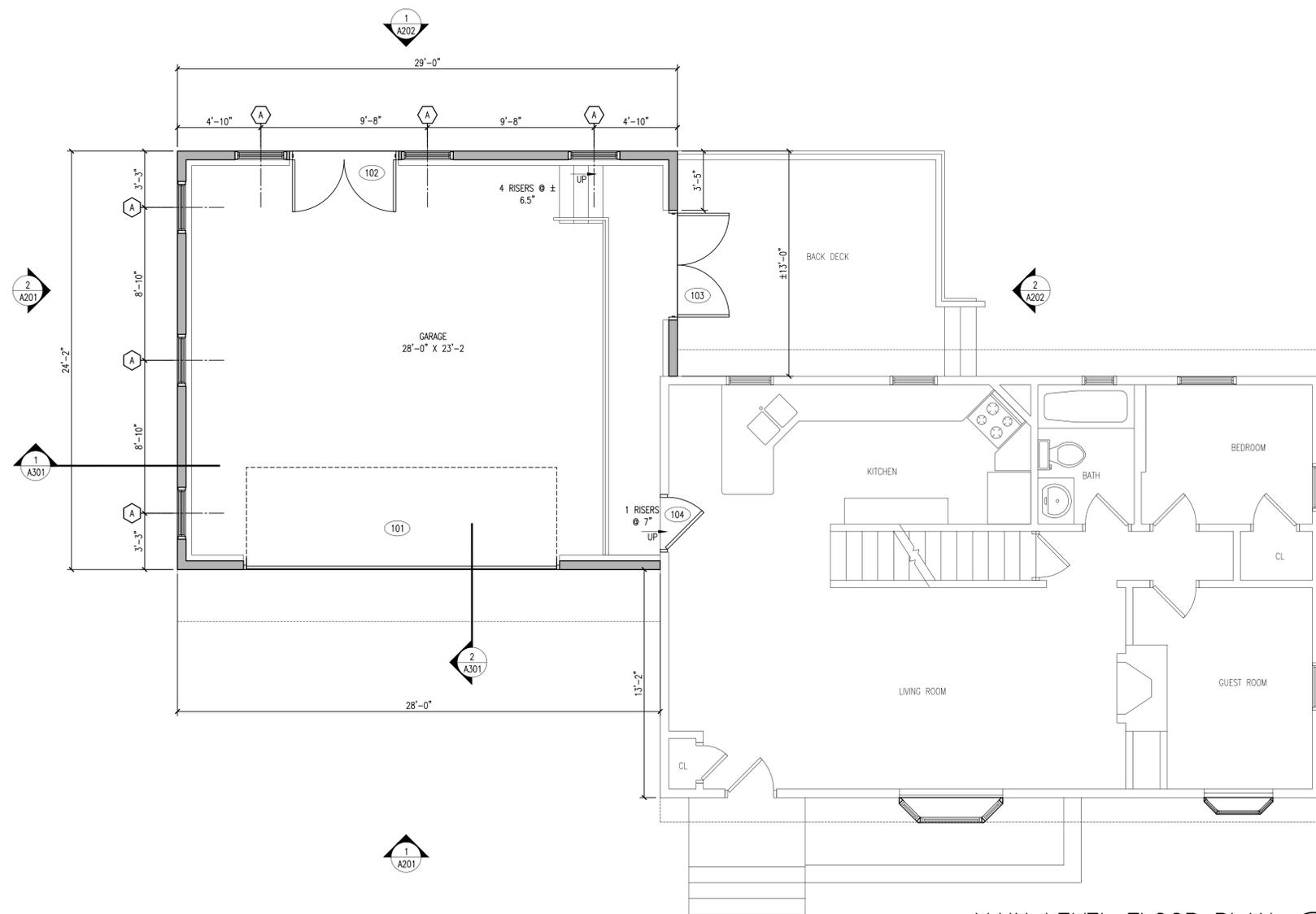
- WALL/PARTITION NOTES**
1. ALL EXTERIOR WALLS & INTERIOR BRACED WALL LINES TO BE BRACED & CONSTRUCTED AS REQUIRED BY THE BUILDING CODE.
  2. PROVIDE WALL SEPARATION AS REQUIRED BY NEW HAMPSHIRE STATE BUILDING CODE.

**DOOR SCHEDULE**

MARK	SIZE	TYPE / NOTES
<b>MAIN LEVEL</b>		
101	18'-0" x 8'-0"	OVERHEAD SECTIONAL DOOR
102	(2) 3'-0" x 7'-6"	INSULATED EXTERIOR DOOR, HALF LITE
103	(2) 3'-0" x 8'-0"	ANDERSEN 400 FRENCH OUTSWING DOOR #FW06080
104	3'-0" x 7'-0"	SOLID CORE WOOD TO MATCH EXISTING INTERIOR DOORS
<b>UPPER LEVEL</b>		
201	2'-6" x 6'-8"	SOLID CORE, WOOD TO MATCH EXISTING
202	2'-6" x 6'-8"	SOLID CORE, WOOD TO MATCH EXISTING
203	2'-6" x 6'-8"	POCKET DOOR, WOOD TO MATCH EXISTING
204	2'-6" x 6'-8"	SOLID CORE, WOOD TO MATCH EXISTING
205	(2) 2'-6" x 6'-8"	BIFOLD DOOR
206	(2) 2'-6" x 6'-8"	BIFOLD DOOR

**WINDOW SCHEDULE**

MARK	SIZE	SILL HEIGHT	TYPE / NOTES
<b>MAIN LEVEL</b>			
A	2'-11 $\frac{1}{2}$ " x 4'-11 $\frac{1}{2}$ "	3'-0" AFF	ANDERSEN 100 SINGLE HUNG #3050
B	2'-11 $\frac{1}{2}$ " x 4'-11 $\frac{1}{2}$ "	1'-9" AFF	ANDERSEN 100 SINGLE HUNG #3050
C	(2) 2'-11 $\frac{1}{2}$ " x 4'-11 $\frac{1}{2}$ "	1'-9" AFF	ANDERSEN 100 SINGLE HUNG #3050
D	(2) 2'-11 $\frac{1}{2}$ " x 3'-11 $\frac{1}{2}$ "	2'-9" AFF	ANDERSEN 100 SINGLE HUNG #3040
E	2'-11 $\frac{1}{2}$ " x 1'-11 $\frac{1}{2}$ "	4'-9" AFF	ANDERSEN 100 AWNING #3020



**MAIN LEVEL FLOOR PLAN**  
 SCALE: 1/4"=1'-0" 1 A101



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**SCHNAPER RESIDENCE**  
 1058 CHANDLER STREET, TEWKSBURY, MA

**MAIN LEVEL FLOOR PLAN**

SHEET TITLE

NORTH ARROW



**REVISIONS**

NO.	DESCRIPTION

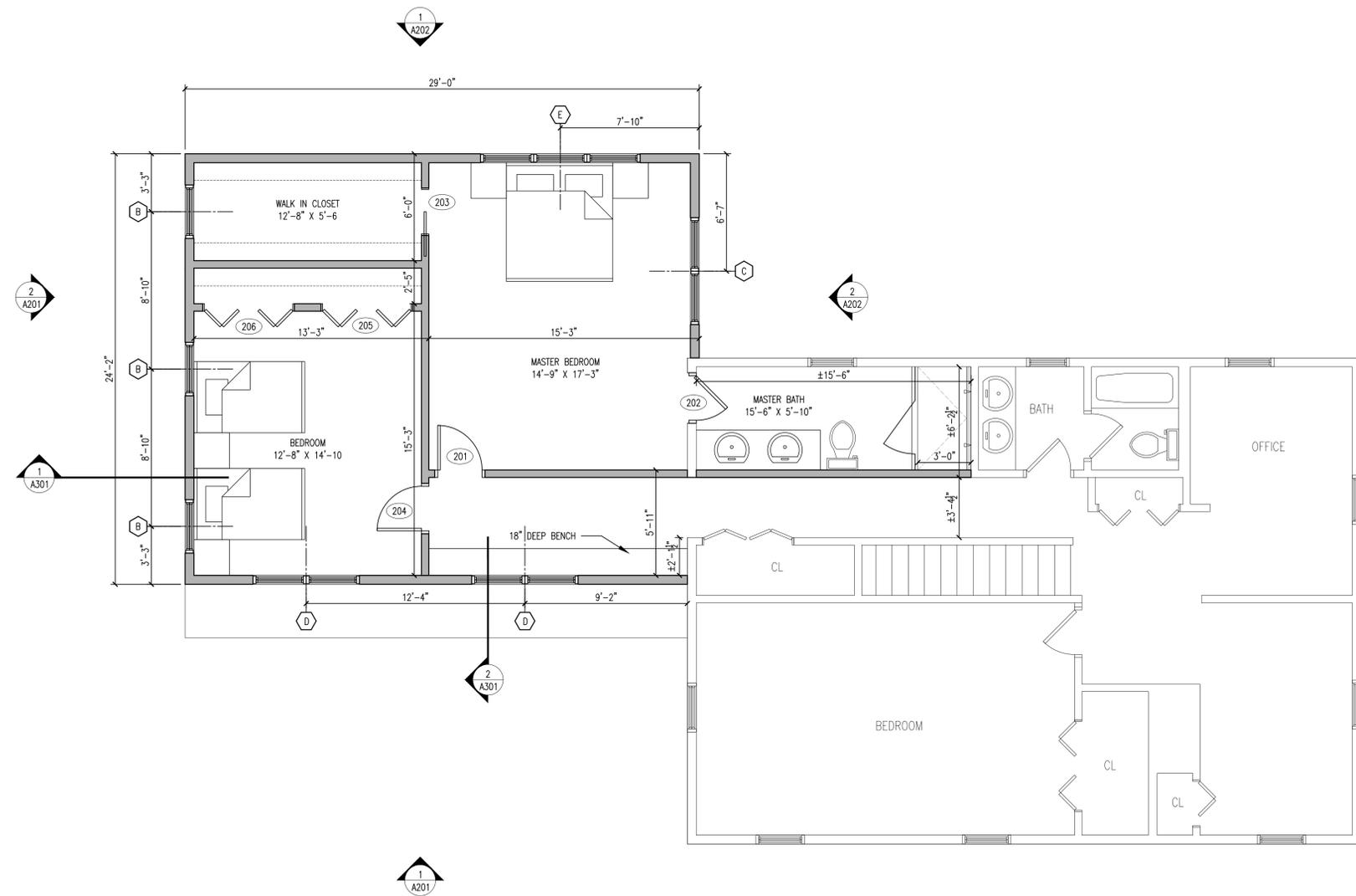
MK. DATE  
 DATE 30 JUNE 2021  
 JOB NO. 21-019 APPR.

SHEET NO.

**A101**



NO.	DESCRIPTION



**UPPER LEVEL FLOOR PLAN** 1  
SCALE: 1/4"=1'-0" A102

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**EXTERIOR ELEVATIONS**

SHEET TITLE

NORTH ARROW

REVISIONS

MK.	DATE

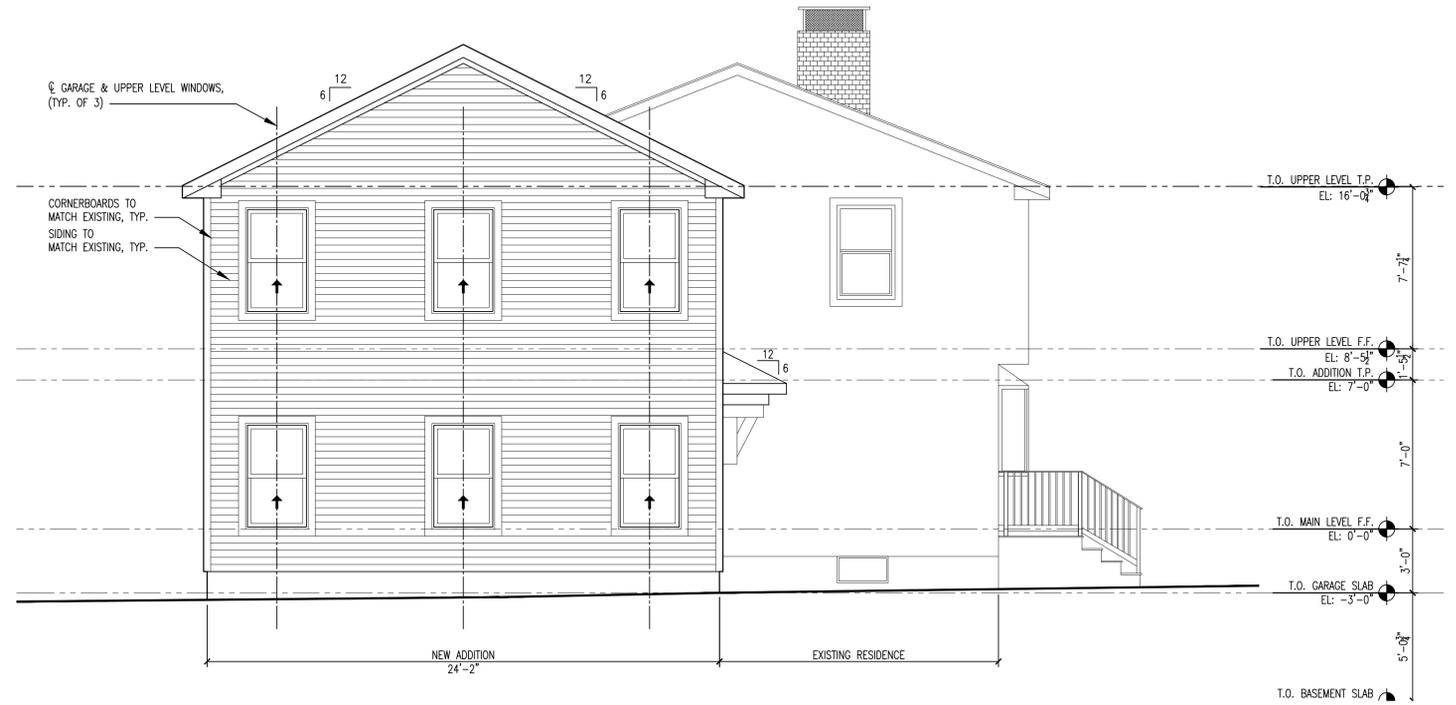
DATE 30 JUNE 2021

JOB NO. 21-019

APPROVED

SHEET NO.

**A201**



**NORTH ELEVATION** 2  
SCALE: 1/4"=1'-0" A201



**WEST ELEVATION** 1  
SCALE: 1/4"=1'-0" A201

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ADDITIONS & RENOVATIONS  
**SCHNAPER RESIDENCE**  
1058 CHANDLER STREET, TEWKSBURY, MA

**EXTERIOR ELEVATIONS**

SHEET TITLE

NORTH ARROW

REVISIONS

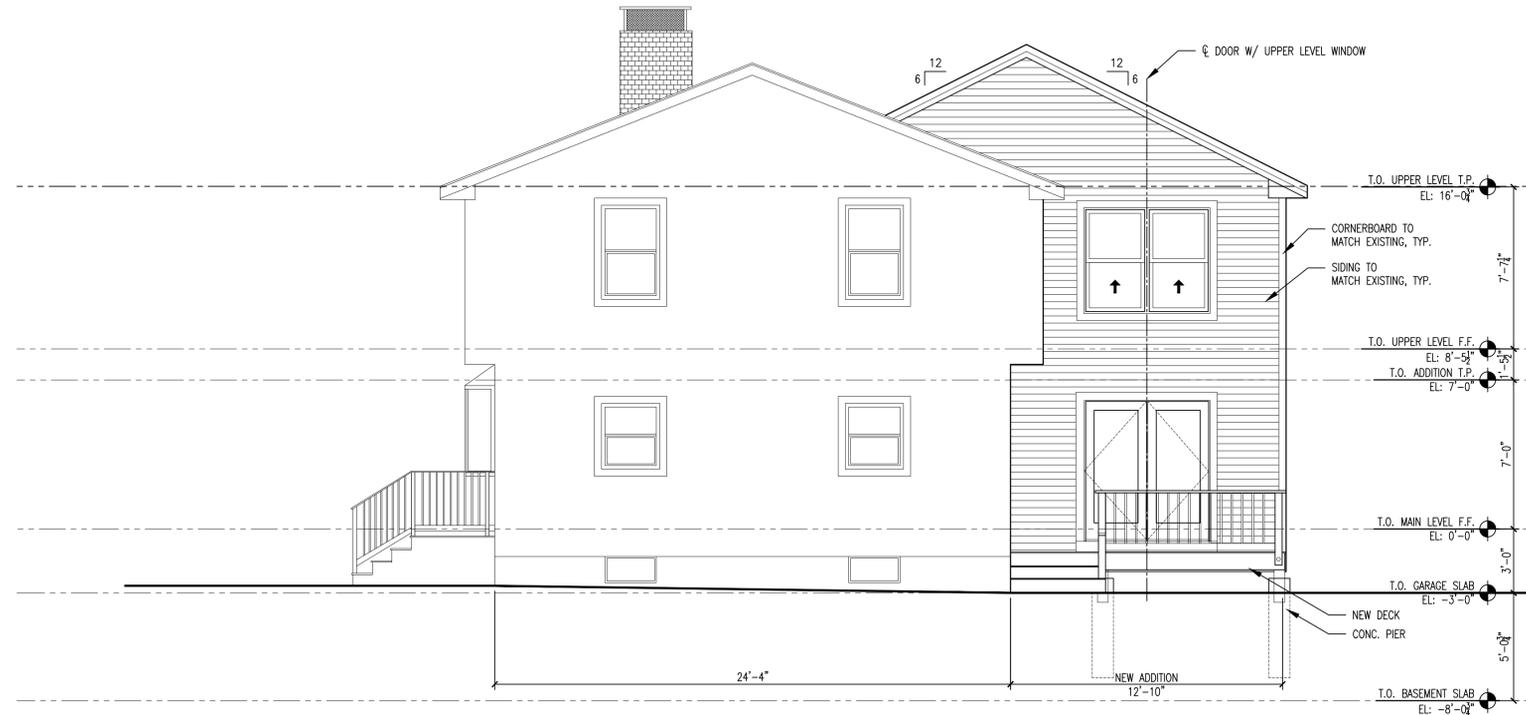
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DATE: 30 JUNE 2021

JOB NO.: 21-019

SHEET NO.

**A202**



**SOUTH ELEVATION** 2  
SCALE: 1/4"=1'-0" A202



**EAST ELEVATION** 1  
SCALE: 1/4"=1'-0" A202

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ADDITIONS & RENOVATIONS  
**SCHNAPER RESIDENCE**  
1058 CHANDLER STREET, TEWKSBURY, MA

**BUILDING SECTIONS**

SHEET TITLE

NORTH ARROW

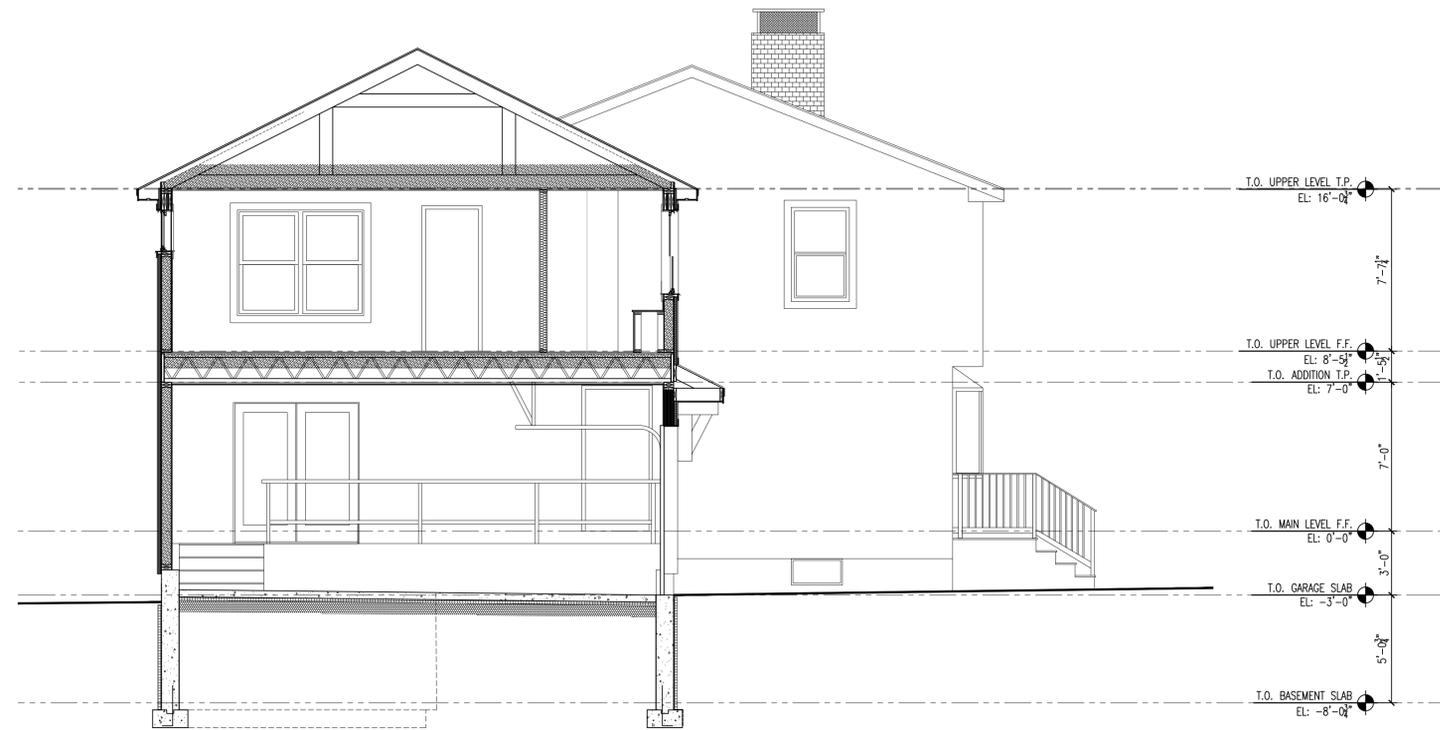
REVISIONS

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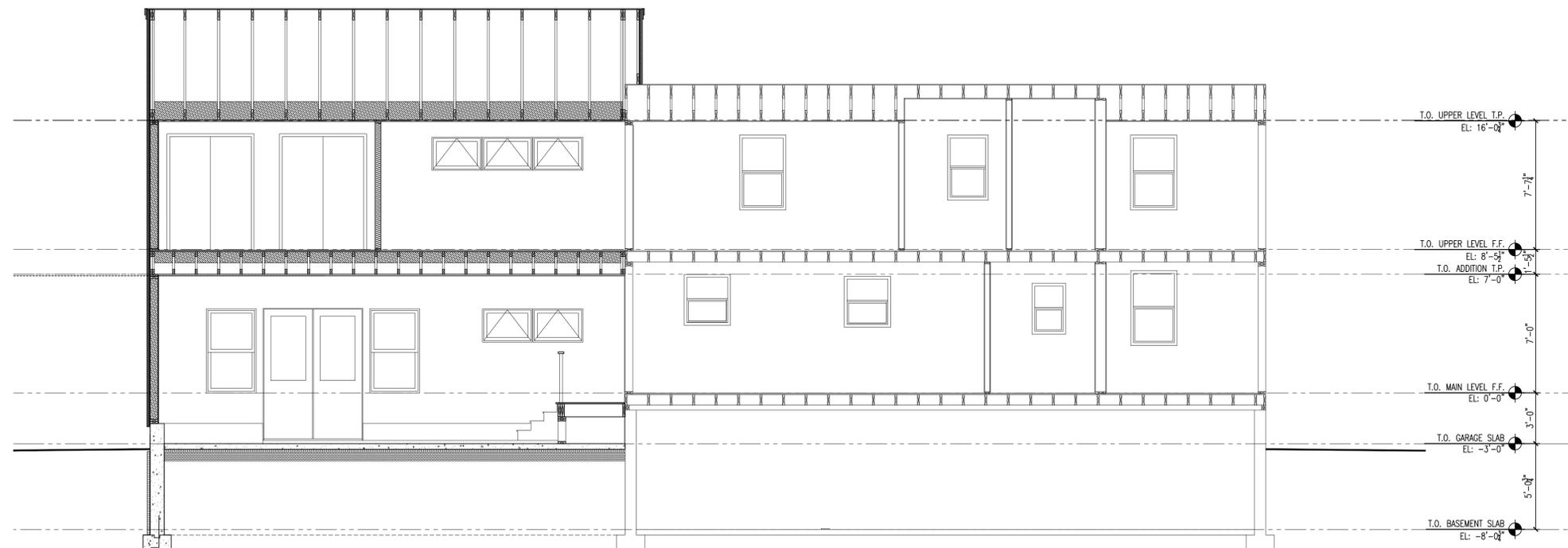
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SHEET NO.

**A301**



**NORTH SECTION** 1  
SCALE: 1/4"=1'-0" A301



**EAST SECTION** 1  
SCALE: 1/4"=1'-0" A301

